

**SEMINOLE COUNTY GOVERNMENT
AGENDA MEMORANDUM**

SUBJECT: SCC Foundation OP (Office) Zoning Site Plan

DEPARTMENT: Planning and Development **DIVISION:** Planning

AUTHORIZED BY: Dori DeBord

CONTACT: Ian Sikonia

EXT: 7398

MOTION/RECOMMENDATION:

1. Approve the requested SCC Foundation Site Plan on approximately 4.84 acres, located on the southeast corner of the intersection of College Drive and Lake Mary Boulevard, per staff findings (Bryan Potts, applicant); or
2. Deny the requested SCC Foundation Site Plan on approximately 4.84 acres, located on the southeast corner of the intersection of College Drive and Lake Mary Boulevard, and authorize the Chairman to execute the Denial Development Order (Bryan Potts, applicant); or
3. Continue the item to a time and date certain.

District 5 Brenda Carey

Ian Sikonia

BACKGROUND:

The SCC Foundation rezone was approved at the March 25, 2008 Board of County Commissioners meeting. Condition "G" of the approved Development Order states that the engineered site plan must be brought back to the Board of County Commissioners for their review and approval.

The engineered Site Plan shows two buildings containing 44,610 square feet and house a bank and an office. There are two access points proposed along College Drive and a right-in only on W. Ridge Drive. The plan also proposes non-vehicular access through the use of sidewalk connections and a bicycle rack. The engineered Site Plan complies with the Seminole County Land Development Code and the approved Development Order.

STAFF RECOMMENDATION:

Staff recommends that the Board approve the requested SCC Foundation Site Plan on approximately 4.84 acres, located on the southeast corner of the intersection of College Drive and Lake Mary Boulevard, per staff findings.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. SCC Foundation Engineered Site Plan (Part 1)
4. SCC Foundation Engineered Site Plan (Part 2)
5. 3-25-08 SCC Foundation Development Order
6. 3-25-08 SCC Foundation Site Plan
7. 3-25-08 BCC Minutes
8. Denial Development Order (applicable only if denied)

Additionally Reviewed By:

☒ County Attorney Review (Kathleen Furey-Tran)



SCC Foundation Site Plan



Parcel



Subject Property



Winter 2006 Color Aerials

SCC FOUNDATION OFFICE

CONSTRUCTION PLANS

Lake Mary Blvd and College Drive
Sanford, Florida

Parcel ID # 14-20-30-502-0C01-00000 and
14-20-30-502-0C03-0000

PREPARED FOR:
SCC Foundation
100 Weldon Blvd
Sanford, FL 32773
CONTACT: Kim Golab

ENGINEER:

TANNATH DESIGN, INC.
2494 ROSE SPRING DRIVE
ORLANDO, FL 32825
(407) 982-9878
(407) 208-1425 fax
CONTACT: Bryan Potts, P.E.

ARCHITECT:

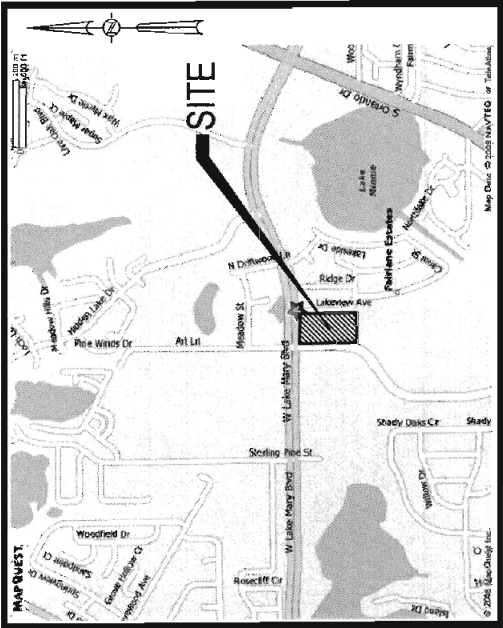
BURKE, HOUGE AND MILLS
1130 BUSINESS CENTER DR
LAKE MARY, FLORIDA 32746
(407) 333-2005
CONTACT: Jerry Mills

LANDSCAPE ARCHITECT:

LANDSCAPE DESIGNS, LLC
4465 GABRIELLA LANE
WINTER PARK, FL 32792
(407) 484-3414
(407) 671-1604 fax
CONTACT: Carl Kelly, L.A.

SURVEYOR:

DOUDNEY COMPANIES, INC.
200 E COMMERCIAL ST
SANFORD, FLORIDA 32771
(407) 322-1451
CONTACT: David Doudney



LOCATION SKETCH

INDEX OF DRAWINGS		
CIVIL		
C-1	1	COVER SHEET
C-2	2	EXISTING SITE CONDITIONS
C-3	3	DEMOLITION PLAN
C-4	4	EROSION CONTROL PLAN
C-5	5	SITE PLAN
C-6	6	DRAINAGE PLAN
C-7	7	UTILITY PLAN
C-8	8	RIDGE DR CROSS SECTIONS
C-9	9	EROSION CONTROL DETAILS
C-10	10	PAVING DETAILS
C-11	11	DRAINAGE DETAILS
C-12	12	UTILITY DETAILS
C-13	13	PHOTOMETRIC PLAN
LANDSCAPE		
LS-01	1	TREE PRESERVATION PLAN
LS-02	2	LANDSCAPE SITE PLAN
IR-01	3	IRRIGATION SITE PLAN

PROPERTY APPRAISER ID NUMBER 14-20-30-502-0C01-0000
14-20-30-502-0C03-0000
APPROVED FOR CONSTRUCTION
SEMINOLE COUNTY
THIS APPROVAL IS SUBJECT TO SEVERAL CONDITIONS AND IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN THE NECESSARY PERMITS FROM THE AFFECTED AGENCIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE DECISIONS TO CONSIDER A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FROM THE AFFECTED AGENCIES. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW.
APPROVED
SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT
DATE

TANNATH DESIGN, INC. 2494 ROSE SPRING DRIVE ORLANDO, FLORIDA 32825 (407) 982-9878 (407) 208-1425 fax www.tannathdesign.com FL CERT. OF AUTH. #277199				DATE	
COVER SHEET		SCC FOUNDATION OFFICE LAKE MARY BLVD & COLLEGE DR SEMINOLE COUNTY, FLORIDA		PROJECT #: 033-001	
REV	DATE	BY	COMMENTS	SCALE: NTS	DATE: 12/02/08
0	04/22/08	BRP	ISSUED FOR PERMITTING	DRAWN: SCP	
1	07/09/09	BRP	REVISIONS PER COUNTY & CITY COMMENTS	APPROVED: BRP	
2					
3					
4					
5					
6					

DATE

BRYAN R. POTTS, P.E.
FL. REG. #59461

2494 ROSE SPRING DRIVE
ORLANDO, FLORIDA 32825
(407) 982-9878
www.tannathdesign.com
FL. CERT. OF AUTH. #27199

DEMOLITION PLAN

SCC FOUNDATION OFFICE
LAKE MARY BLVD & COLLEGE DR
SEMINOLE COUNTY, FLORIDA

REV. DATE BY COMMENTS

0 04/22/09 BRP ISSUED FOR PERMITTING

1 06/10/09 BRP REVISIONS PER COUNTY COMMENTS

2 07/09/09 BRP REVISIONS PER COUNTY & CITY COMMENTS

3

4

5

6

PROJECT #: 033-001

DATE: 03/20/09

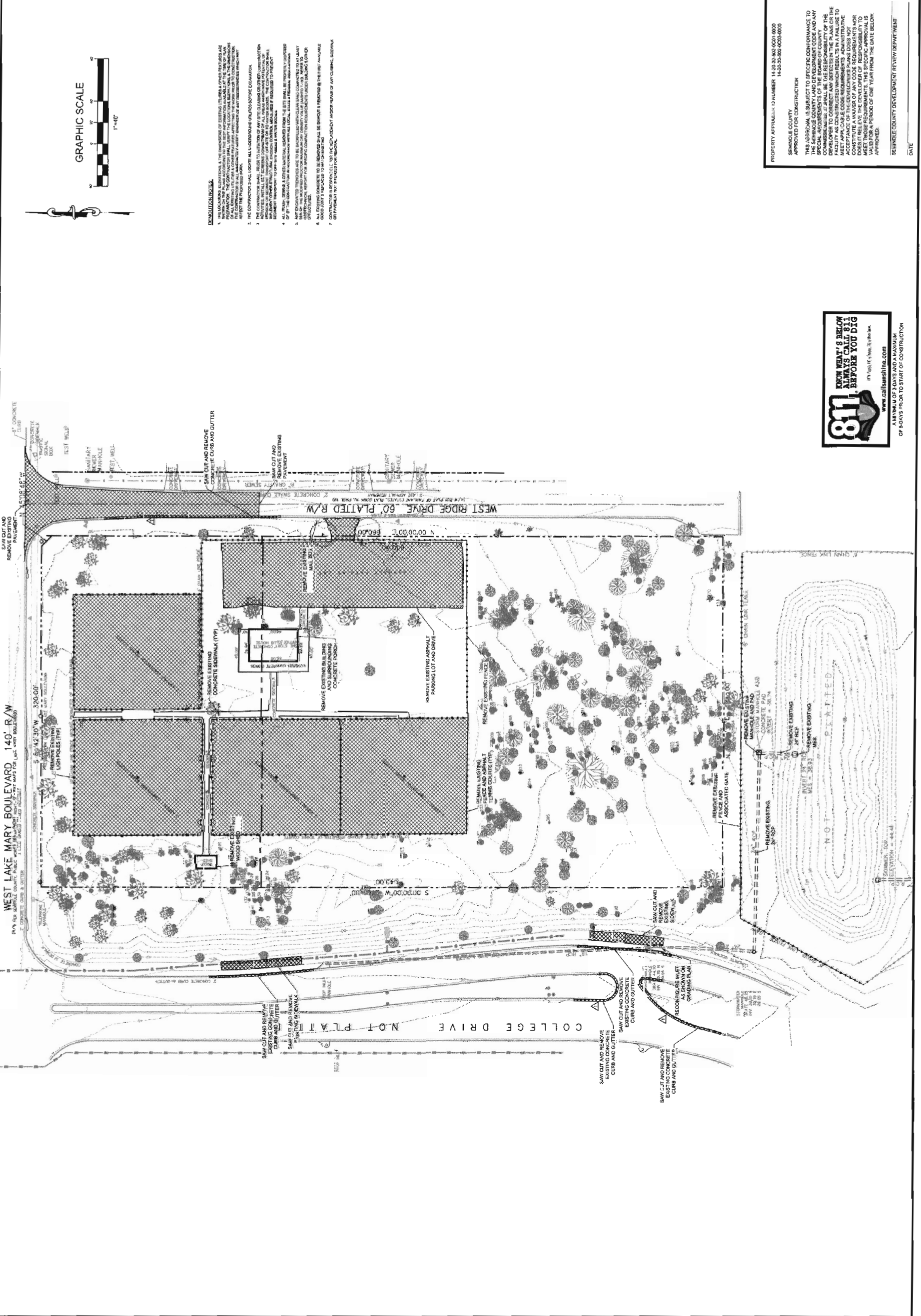
SCALE: 1" = 40'

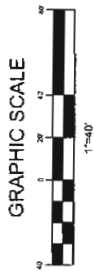
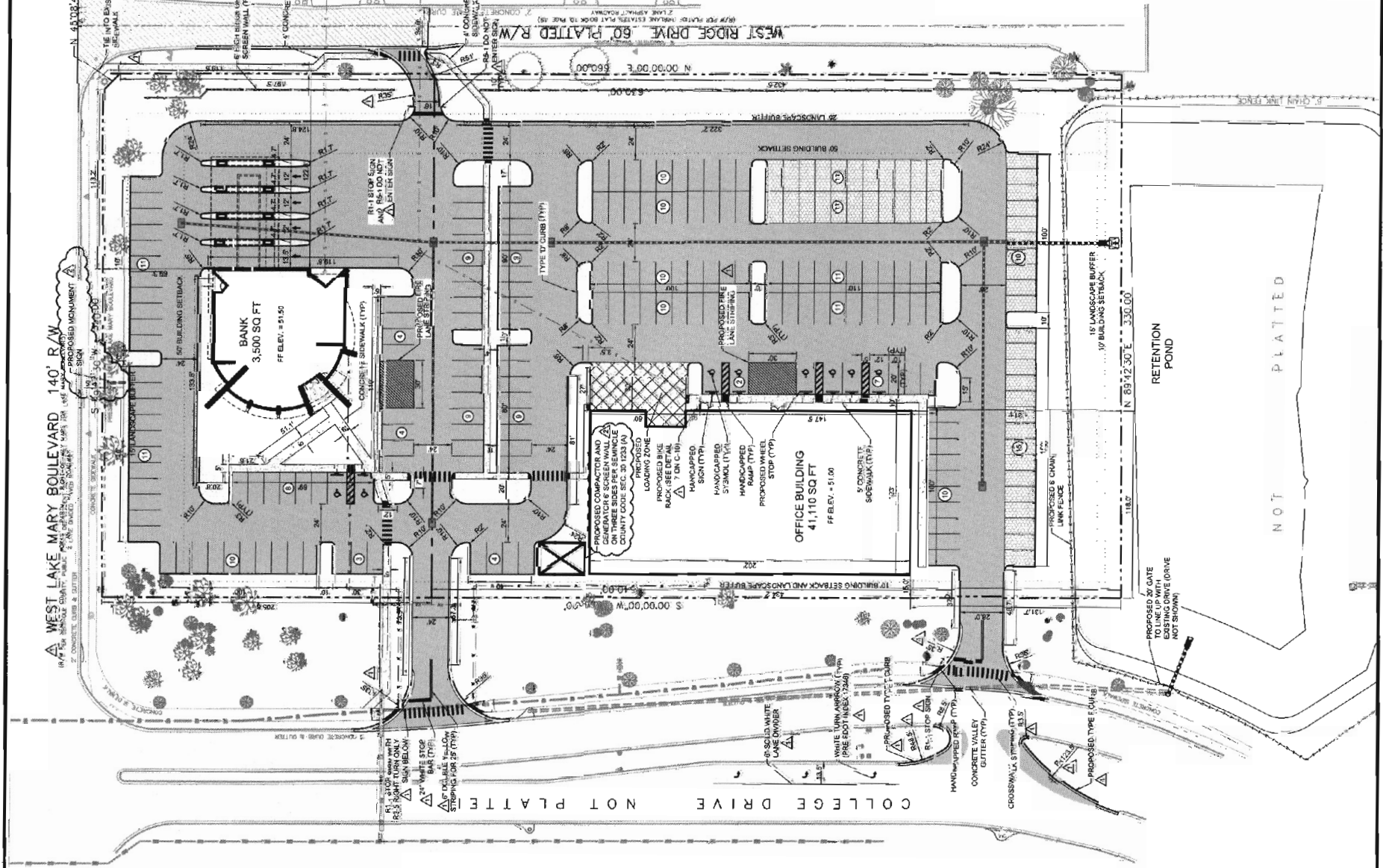
DRAWN: SCP

APPROVED: BRP

SHEET NAME: C-3

SHEET: 3 OF 13





SITE DATA
PROJECT LOCATION:
SE CORNER OF LAKE MARY BLVD & COLLEGE DR
PARCEL ID:
14 20 30 423 0001 0000
14 20 30 423 0002 0000
14 20 30 423 0003 0000
LOCAL MUNICIPALITY:
SEMINOLE COUNTY
FUTURE LAND USE:
OFFICE
CURRENT ZONING:
OFFICE PROFESSIONAL (OP)
PROPOSED USE:
OFFICE/BANK
TOTAL OVERALL PARCEL AREA:
4.94 AC
OFFICE DEVELOPMENT AREA:
3.39 AC
BANK DEVELOPMENT AREA:
1.56 AC
OFFICE BUILDING:
41,110 SQ FT
BANK BUILDING:
3,500 SQ FT
MIN. OPEN SPACE:
25%
PROPOSED OPEN SPACE:
1,210 SQ FT
PROPOSED FAR:
0.13
BUILDING SETBACKS (FROM PROPERTY LINE):
FRONT (EAST): 57'00"
SIDE (WEST): 10'
REAR (SOUTH): 10'
BUFFER YARDS:
FRONT (EAST): 15'
SIDE (WEST): 10'
REAR (SOUTH): 15'
BUILDING HEIGHT:
MAXIMUM: 35' (TWO-STORY)

- DEVELOPMENT ORDER CONDITIONS:**
- REMANU CONVICTIONS
 - ALL DEVELOPMENT SHALL COMPLY WITH THE DEVELOPMENT PLAN.
 - THE MAXIMUM BUILDING HEIGHT SHALL BE TWO STORES, NOT TO EXCEED 35'.
 - PERMITTED USES SHALL BE THOSE PERMITTED UNDER THE OP (OFFICE) DISTRICT.
 - ALL LANDSCAPE BUFFERS AND COMMON AREAS SHALL BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION.
 - IN ACCORDANCE WITH SECTION 10.1341 OF THE LAND DEVELOPMENT CODE, A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE PROJECT AREA MUST BE DESIGNATED AS OPEN SPACE.

- PROJECT SPECIFIC CONDITIONS:**
- THE PROJECT SHALL BE DEVELOPED WITH A TOTAL OF 44,610 SQUARE FEET AS FOLLOWS:
SQUARE FEET BUILDING A 41,110 BUILDING B (BANK) 45,110 TOTAL 86,220
 - THE FINAL LANDING LANDSCAPE BUFFER AND SETBACK STANDARDS SHALL APPLY. EAST 25' LANDSCAPE BUFFER AND 50' BUILDING SETBACK FOR ONE-STORY BUILDINGS. EAST 25' LANDSCAPE BUFFER AND 50' BUILDING SETBACK FOR TWO-STORY BUILDINGS. THE BUFFER SHALL COMPLY WITH THE FOLLOWING:
A. THE BUFFER MUST INCLUDE AT A MINIMUM A 60" TALL BRICK OR BLOCK WALL WITH THE FOLLOWING:
1. 6" CONCRETE SIDEWALK (TYP)
2. 6" CONCRETE SIDEWALK (TYP)
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100. 6" CONCRETE SIDEWALK (TYP)

- PAVEMENT LEGEND**
- PERVIOUS PAVEMENT
 - STANDARD ASPHALT
 - CONCRETE PAVEMENT SIDEWALK
 - REPLACEMENT OF EXISTING ROAD

SITE PLAN

SCC FOUNDATION OFFICE
LAKE MARY BLVD & COLLEGE DR
SEMINOLE COUNTY, FLORIDA

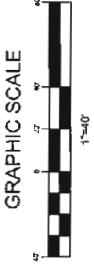
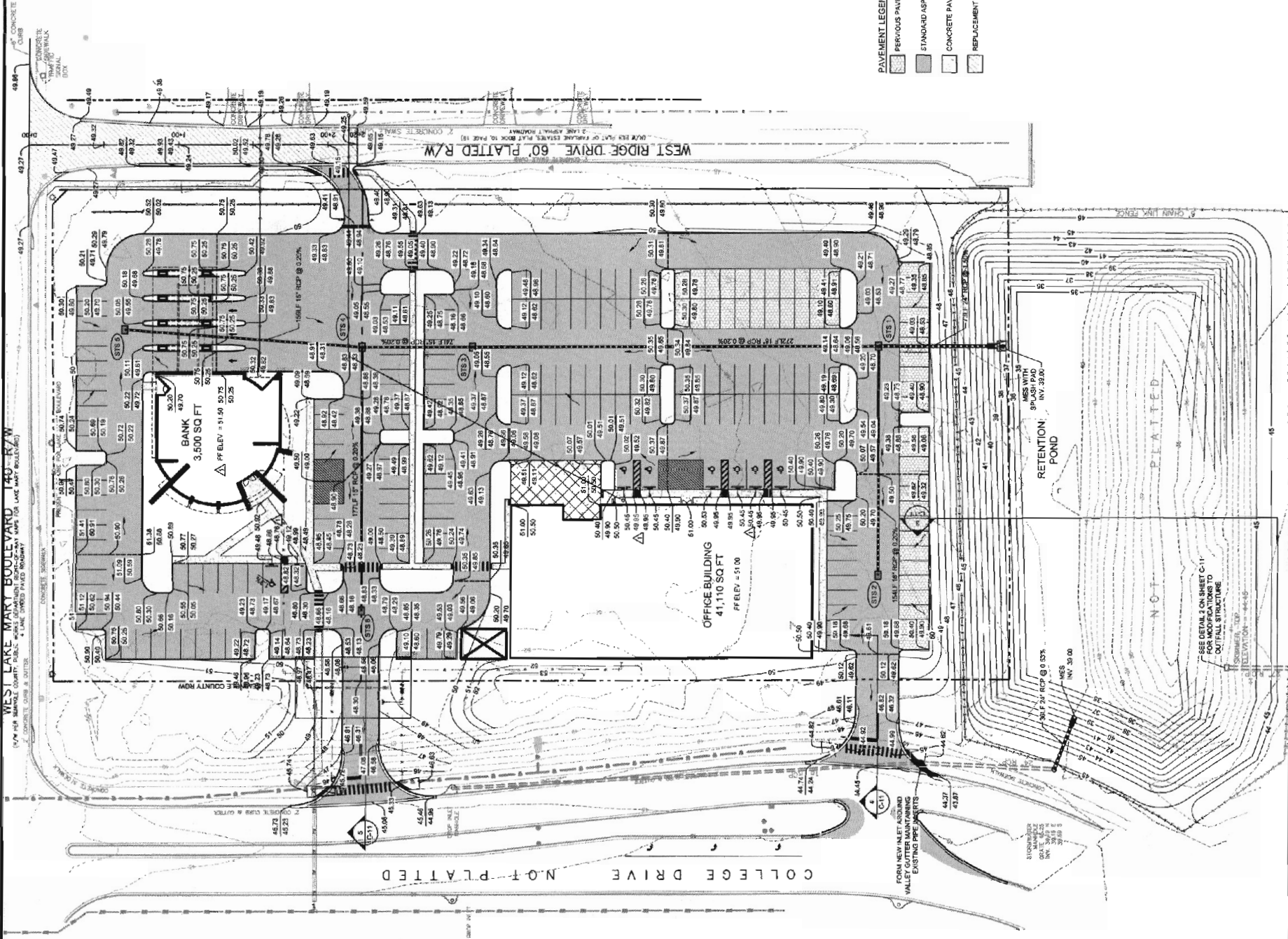
TANNATH DESIGN, INC.
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ORLANDO, FLORIDA 32825
(407) 982-8878
(407) 208-1425 fax
www.tannathdesign.com
FL. CERT. OF AUTH. #27199

BRYAN R. POTTS, P.E.
FL. REG. #59451

PROJECT #: 033-001
DATE: 03/20/09
SCALE: 1" = 40'
DRAWN: SCP
APPROVED: BRP
SHEET NAME: C-5
SHEET: 5 OF 13

PROPERTY APPRAISER'S NUMBER: 14-25-30-000-0000-0000
SEMINOLE COUNTY
APPROVED FOR CONSTRUCTION
THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY ZONING ORDINANCES AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN ALL NECESSARY PERMITS AND TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE REVIEW OF THIS PLAN IS LIMITED TO TECHNICAL REVIEW ONLY. IT DOES NOT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO MEET APPLICABLE CODE REQUIREMENTS. THIS REVIEW IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL.





PAVING AND DRAINAGE NOTES

- THE ENTITY THAT WILL OWN, OPERATE, AND MAINTAIN THE STORM SEWER SHOWN ON THESE PLANS IS THE SEMINOLE COUNTY PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF THE PERMITS OBTAINED.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS, REPAIRS, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY TESTING TO ASSURE THAT THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE SEMINOLE COUNTY PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF COMPLETION FROM THE TESTING COMPANY.
- PRIOR TO BID PREPARATION, THE CONTRACTOR MUST BECOME FAMILIAR WITH THE OVERALL SITE CONDITIONS AND PERFORM ADDITIONAL INVESTIGATIONS AS DETERMINED NECESSARY TO UNDERSTAND THE EXISTING CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS, REPAIRS, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
- IF THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTING SITE CONDITIONS OF SOIL, PRIOR TO THE CONSTRUCTION OF THE STORM SEWER SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF COMPLETION FROM THE TESTING COMPANY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER WHEN ALL WORK IS TO BE COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS, REPAIRS, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
- ALL FILL MATERIALS SHALL BE FREE OF WACK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH, OR OTHER UNSUITABLE MATTER.
- ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE.
- FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-99. ALL OTHER AREAS ARE TO BE COMPACTED TO AT LEAST 96% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-99. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS, REPAIRS, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
- GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE TO THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CALCULATIONS AS NECESSARY TO ASSURE THE PROPER DESIGN AND CONSTRUCTION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS, REPAIRS, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS B WITH RUBBER GASKET JOINTS. RCP SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 942. RUBBER GASKETS SHALL CONFORM TO SECTION 942.
- ALL OTHER RELATED ITEMS REQUIRED FOR THE CONSTRUCTION OF THE STORM SEWER SYSTEM, INCLUDING BUT NOT LIMITED TO, EROSION CONTROL, SLOPE STABILIZATION, AND FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION).
- ALL PIPE CATCH BASINS SHALL BE MEASURED CENTERLINE TO CENTERLINE WITH A SEED AND MULCH Mixture UNLESS OTHERWISE NOTED.
- ALL ON-SITE AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED WITH BANJA.
- NO 4-12 WOOD TREES MAY BE PLANTED OTHER THAN WITHIN 5' OF UTILITY LINES OR STORM PIPES. ONLY 500' SOFT WOOD TREES MAY BE PLANTED OVER UTILITY LINES.
- ALL MITERED BEND SECTIONS TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT INDEX 279.

STORM STRUCTURE TABLE			
STS 1	TYPE D INLET GRATE ELEV. 48.19 INV. ELEV. 42.38 N 18" RCP INV. ELEV. 40.10 S 24" RCP	STS 2	TYPE D INLET GRATE ELEV. 48.04 INV. ELEV. 43.02 N 18" RCP INV. ELEV. 43.02 S 18" RCP
STS 3	TYPE D INLET GRATE ELEV. 48.15 INV. ELEV. 42.38 N 18" RCP INV. ELEV. 40.10 S 24" RCP	STS 4	TYPE D INLET GRATE ELEV. 48.04 INV. ELEV. 43.02 N 18" RCP INV. ELEV. 43.02 S 18" RCP
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PAVEMENT LEGEND	
[Symbol]	PERVIOUS PAVEMENT
[Symbol]	STANDARD ASPHALT
[Symbol]	CONCRETE PAVEMENT/SEAWALK
[Symbol]	REPLACEMENT OF EXISTING ROAD



LEGEND	
[Symbol]	STORM STRUCTURE I.D.
[Symbol]	MITERED BEND SECTION
[Symbol]	STORM CATCH BASIN
[Symbol]	CONCRETE SPLASH PAD
[Symbol]	PAVED SURFACE FLOW
[Symbol]	PAVED FLOWLINE
[Symbol]	PAVED RIDGE
[Symbol]	PROPOSED GRADES
[Symbol]	EXISTING SPOT ELEV.

REV

DATE

BY

COMMENTS

0

07/09/09

BRP

REVISIONS PER COUNTY & CITY COMMENTS

1

06/01/09

BRP

REVISIONS PER COUNTY & CITY COMMENTS

2

07/09/09

BRP

REVISIONS PER COUNTY & CITY COMMENTS

REV

DATE

BY

COMMENTS

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07/09/09

BRP

REVISIONS PER COUNTY & CITY COMMENTS

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06/01/09

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REVISIONS PER COUNTY & CITY COMMENTS

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07/09/09

BRP

REVISIONS PER COUNTY & CITY COMMENTS

SCC FOUNDATION OFFICE
LAKE MARY BLVD & COLLEGE DR
SEMINOLE COUNTY, FLORIDA

PAVING, GRADING AND
DRAINAGE PLAN

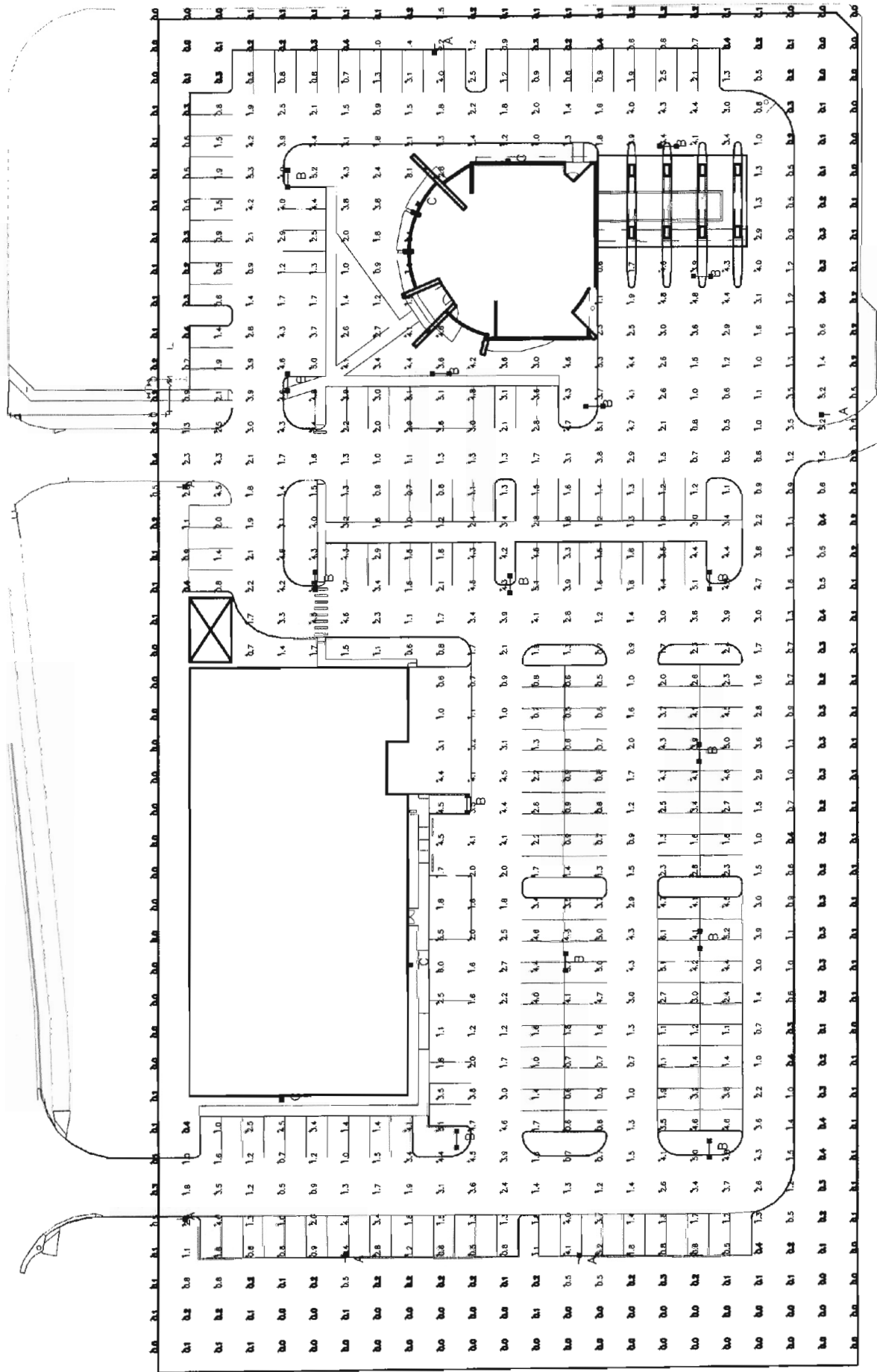
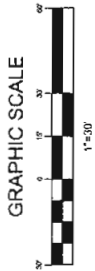
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FL REG. #59461
BRYAN R. POTTS, P.E.

PROJECT #: 033-001
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SCALE: 1" = 40'
DRAWN: SCP
APPROVED: BRP
SHEET NAME: C-6
SHEET: 6 OF 13

PROPERTY APPRAISER'S NUMBER: 14-20-00-000-0000
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APPROVED FOR CONSTRUCTION
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Luminaire Schedule									
Symbol	Qty	Lead	Arrangement	No. Lamps	Lumens	Total Lumens	LLF	Description	Total Watts
B	1	A	SINGLE	1	23750	23750	0.700	GM-3-250-PSMV-F-HSS 16" M.H.	268
B	1	B	DIBO	1	23750	47500	0.700	GM 5 250 PSMAV F 16" M.H.	576
C	4	C	SINGLE	1	20000	20000	0.700	GRWV FT 250 PMSHH F	288

Total Project Watts
Total Watts = 11520

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
SUMMARY	fluorance	Fc	1.76	9.2	0.0	N.A.
PARKING AREA SUMMARY	fluorance	Fc	2.52	9.2	0.5	18.40

Maintained Footcandle Levels.

PROPERTY APPRAISER ID NUMBER 14-20-30-502-0001-0000
14-20-30-502-0003-0000

SEMINOLE COUNTY
APPROVED FOR CONSTRUCTIONSEMINOLE COUNTY
APPROVED FOR CONSTRUCTION

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE SEMINOLE COUNTY LAND DEVELOPMENT CODE AND ANY ORDINANCES, RESOLUTIONS, RULES AND REGULATIONS OF THE COMMISSIONERS. I, THE SIGNED OFFICIAL, ACCEPT THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULTS IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. ADMINISTRATIVE ACCEPTANCE OF THE DEVELOPER'S PLANS DOES NOT CONSTITUTE A WAIVER OF ANY CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF ITS RESPONSIBILITY TO MAINTAIN THE FACILITY IN ACCORDANCE WITH THE SPECIFICATIONS. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE BELOW APPROVED.

SEMINOLE COUNTY DEVELOPMENT REVIEW DEPARTMENT

DAVE

SHEET: 13 OF 13

PROJECT #: 033-001

DATE: 03/20/09

SCALE: 1" = 30'

DRAWN: SCP

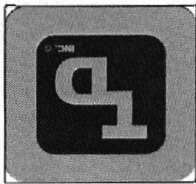
APPROVED: BRP

SHEET NAME:

C-13

BRYAN R. POTTS, P.E.
FL. REG. #59461

DATE _____



TANNATH DESIGN, INC.
2494 ROSE SPRING DRIVE
ORLANDO, FLORIDA 32825
(407) 982-9878
(407) 208-1425 fax
www.tannathdesign.com
FL. CERT. OF AUTH. #27199

PHOTOMETRIC PLAN

SCC FOUNDATION OFFICE
LAKE MARY BLVD & COLLEGE DR
SEMINOLE COUNTY, FLORIDA

SEMINOLE COUNTY, FLORIDA

COMMENTS

GNIL

1



Landscape
Designs, LLC

■ Landscape Architecture
■ Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
P: (407) 484-3414
F: (407) 671-1004

PROJECT AND OWNER
**SCC
FOUNDATION
OFFICE**
Seminole County,
Florida

Tamath Designs, Inc.
2404 Rose Spring Drive
Orlando, Florida 32825
P: (407) 828-4500
F: (407) 828-4625

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG. #: LA0001764

PROJECT NO. TAM11.1
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 04/16/09

ISSUED FOR: PERMIT
04/20/09 - Site Changes
05/27/09 - County Comments

DRAWING SCALE

1"=30'-0"
0 FT 15 30 North

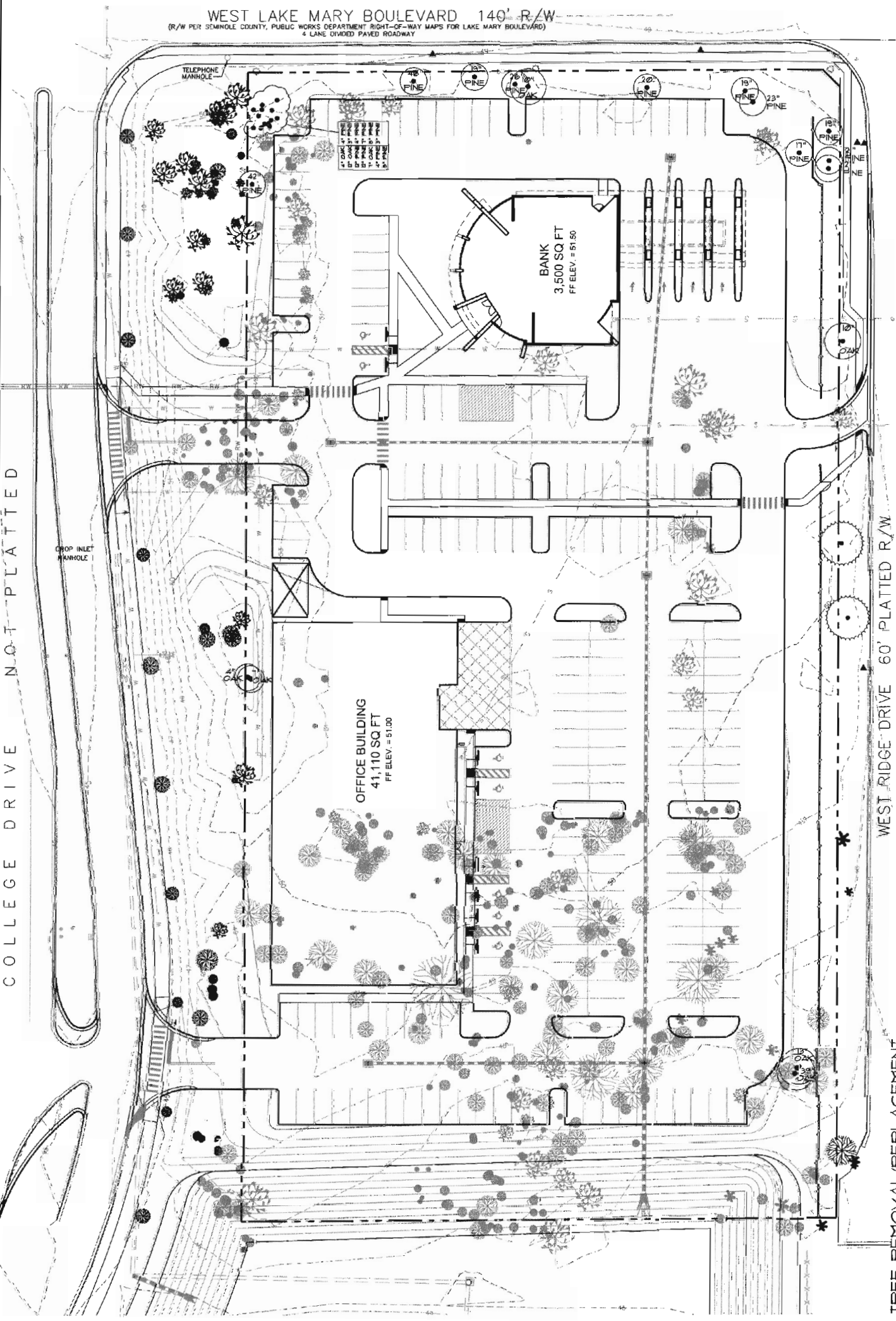
DRAWING TITLE

**TREE
PRESERVATION
PLAN**

DRAWING NUMBER

LS-01

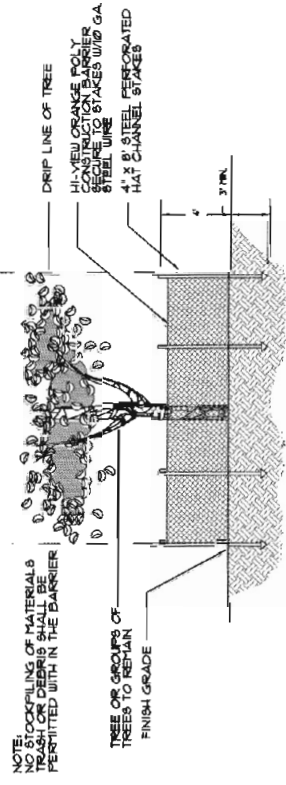
SHEET 01 OF 02



TREE REMOVAL/REPLACEMENT:

TREES TO BE REMOVED			TREES TO BE PRESERVED			TREE REPLACEMENT STANDARDS		
DBH	QUANTITY	TOTAL DBH	DBH	QUANTITY	TOTAL DBH	SIZE	QTY. OF TREES REMOVED	QTY. OF REQ. REPLACEMENT TREES
3"	2	6"	3"	2	6"	3" - 12"	250	(1)
4"	4	16"	4"	5	20"	12" - 24"	15	(4)
5"	48	240"	5"	2	10"	24" - 36"	15	(5)
6"	25	150"	6"	2	12"	TOTAL	340	300 TREES * 7 CAL.
7"	24	168"	7"	3	21"			50 TREES * 7 CAL.
8"	7	56"	8"	3	24"			80 TREES * 7 CAL.
9"	1	9"	9"	1	9"			
10"	1	10"	10"	1	10"			
11"	1	11"	11"	1	11"			
12"	1	12"	12"	1	12"			
13"	1	13"	13"	1	13"			
14"	1	14"	14"	1	14"			
15"	1	15"	15"	1	15"			
16"	1	16"	16"	1	16"			
17"	1	17"	17"	1	17"			
18"	1	18"	18"	1	18"			
19"	1	19"	19"	1	19"			
20"	1	20"	20"	1	20"			
21"	1	21"	21"	1	21"			
22"	1	22"	22"	1	22"			
23"	1	23"	23"	1	23"			
24"	1	24"	24"	1	24"			
25"	1	25"	25"	1	25"			
26"	1	26"	26"	1	26"			
27"	1	27"	27"	1	27"			
28"	1	28"	28"	1	28"			
29"	1	29"	29"	1	29"			
30"	1	30"	30"	1	30"			
31"	1	31"	31"	1	31"			
32"	1	32"	32"	1	32"			
33"	1	33"	33"	1	33"			
34"	1	34"	34"	1	34"			
35"	1	35"	35"	1	35"			
36"	1	36"	36"	1	36"			
37"	1	37"	37"	1	37"			
38"	1	38"	38"	1	38"			
39"	1	39"	39"	1	39"			
40"	1	40"	40"	1	40"			
41"	1	41"	41"	1	41"			
42"	1	42"	42"	1	42"			
43"	1	43"	43"	1	43"			
44"	1	44"	44"	1	44"			
45"	1	45"	45"	1	45"			
46"	1	46"	46"	1	46"			
47"	1	47"	47"	1	47"			
48"	1	48"	48"	1	48"			
49"	1	49"	49"	1	49"			
50"	1	50"	50"	1	50"			
TOTAL	340	3,385"	TOTAL	73	426"			

DBH TO BE REMOVED: 3,385" DBH
DBH TO BE PRESERVED: 426" DBH
DEFICIENCY: 2,959" DBH
PROPOSED TREES: 572" CAL.
2,387" DBH
TOTAL: 3,385" DBH
ALL PROPOSED CANOPY REPLACEMENT TREES ARE TO BE 600 GALLON CONTAINER TREES WITH 4" CALIF. TRUNKS TO MITIGATE TREE DEFICIENCY.



EXISTING TREE PROTECTION DETAIL

NO.	DATE	DESCRIPTION	BY	CHECKED	APPROVED
1	04/16/09	ISSUED FOR PERMIT	CJK	CJK	CJK
2	04/20/09	SITE CHANGES	CJK	CJK	CJK
3	05/27/09	COUNTY COMMENTS	CJK	CJK	CJK
4	06/01/09	FINAL	CJK	CJK	CJK
5	06/01/09	FINAL	CJK	CJK	CJK
6	06/01/09	FINAL	CJK	CJK	CJK
7	06/01/09	FINAL	CJK	CJK	CJK
8	06/01/09	FINAL	CJK	CJK	CJK
9	06/01/09	FINAL	CJK	CJK	CJK
10	06/01/09	FINAL	CJK	CJK	CJK
11	06/01/09	FINAL	CJK	CJK	CJK
12	06/01/09	FINAL	CJK	CJK	CJK
13	06/01/09	FINAL	CJK	CJK	CJK
14	06/01/09	FINAL	CJK	CJK	CJK
15	06/01/09	FINAL	CJK	CJK	CJK
16	06/01/09	FINAL	CJK	CJK	CJK
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18	06/01/09	FINAL	CJK	CJK	CJK
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97	06/01/09	FINAL	CJK	CJK	CJK
98	06/01/09	FINAL	CJK	CJK	CJK
99	06/01/09	FINAL	CJK	CJK	CJK
100	06/01/09	FINAL	CJK	CJK	CJK

EXISTING TREE LEGEND

- EXISTING TREE
- OFF SITE
- TO BE REMOVED
- TO BE PRESERVED

SEMINOLE COUNTY REVISED AND RESTATED DEVELOPMENT ORDER

RECEIVED JUL 06 2009

On March 25, 2008 Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as **Exhibit A.**

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner (s): Seminole Community College Foundation
Insight Financial Credit Union

Project Name: SCC Foundation Rezone

Requested Development Approval:

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owners of the property have expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: Austin Watkins
1101 East First Street
Sanford, Florida 32771

MARYANNE MORSE, CLERK OF CIRCUIT COURT
CLERK OF SEMINOLE COUNTY
BK 07213 Pgs 0878 - 958; (81pgs)
FILE NUM 2009070977
RECORDED 06/30/2009 02:51:15 PM
RECORDING FEES 69.50
RECORDED BY G Harford

1 of 7

CERTIFIED COPY
MARYANNE MORSE
CLERK OF CIRCUIT COURT
SEMINOLE COUNTY, FLORIDA
BY Eva Beck
DEPUTY CLERK

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The aforementioned application for development approval is **GRANTED**.

(2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.

(3) The conditions upon this development approval and the commitments made as to this development's approval, all of which have been accepted by and agreed to by the owner of the property are as follows;

Standard Conditions:

- a. All development shall comply with the Development Plan attached as Exhibit B.
- b. The maximum building height shall be two stories, not to exceed 35'.
- c. Permitted uses shall be those permitted uses in the OP (Office) district.
- d. All landscape buffers and common areas shall be maintained by a property owners association.
- e. In accordance with Section 30.1344 of the Land Development Code, a minimum of twenty-five (25) percent of the project area must be designated as open space.

Project Specific Conditions:

- a. The project shall be developed with a total of 44,610 square feet, as follows:

	Building A	Building B (Bank) Building	Total
Square Feet	41,110 sq. ft.	4,000 sq. ft.	45,110 sq. ft.

- b. The following landscape buffer and setback standards shall apply:

East: 25' landscape buffer and 50' building setback for one-story buildings and 100' building setback for two-story buildings. The buffer shall comply with the following:

1. The buffer must include at a minimum a 6-foot brick or block wall with a decorative finish, eight canopy trees and four sub-canopy trees per one hundred linear feet; and
2. The required landscaping must be planted on the outside of the wall adjacent to West Ridge Drive as a visual amenity to the residents.

West: 10' landscape buffer and 10' building setback
North: 15' landscape buffer and 50' building setback
South: 15' landscape buffer and 10' building setback

- c. The development must comply with Chapter 30 Part 56 of the Seminole County Land Development Code: Lake Mary Boulevard Gateway Corridor Overlay Standards. All HVAC equipment must be screened from view.
- d. Light poles along W. Ridge Drive are limited to 15' in height and must be downward directed and shielded in accordance with the Seminole County Land Development Code.
- e. Wall pack lighting is prohibited.
- f. The access onto W. Ridge Drive shall be right-in only.
- g. The Final Engineering Plan shall be brought back to the Board of County Commissioners as a Regular Agenda item for their review and approval.
- h. An ATM shall be allowed in the drive through, only on the building.
- i. There shall be an internal sidewalk system connecting all buildings to the existing sidewalk on College Drive.
- j. There shall be one pedestrian walkway connecting the internal sidewalk system to West Ridge Drive.
- k. Signage adjacent to or oriented towards West Ridge Drive shall be prohibited. All signage must be oriented towards Lake Mary Boulevard or College Drive.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owners of the said property have expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

Attest:


Maryanne Morse

Clerk to the Board of County Commissioners

By: 

Board of County Commissioners
Bob Dallari, Chairman

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Seminole Community College Foundation, Inc, Matthew Hodge, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Elaine A. Iannelli
Witness

ELAINE A. IANNELLI

Print Name

Edwina Midkiff
Witness

Edwina Midkiff
Print Name

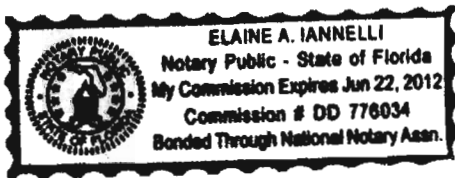
Matthew Hodge
Matthew Hodge, Director

STATE OF FLORIDA)

COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Matthew Hodge, who is personally known to me or who has produced as identification and who executed the foregoing instrument and sworn an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 27th day of May, 2009.



Elaine A. Iannelli
Notary Public, in and for the County and State
Aforementioned

My Commission Expires: 6/22/2012

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Insight Financial Credit Union, Richard Simonton, on behalf of himself and his heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Cindy Arena
Witness

CINDY ARENT
Print Name

Krist
Witness

Kristy Moist
Print Name

STATE OF FLORIDA)

COUNTY OF SEMINOLE)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Matthew Hodge, who is personally known to me or who has produced as identification and who executed the foregoing instrument and sworn an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 10 day of June, 2009.

Jodi A. Petrzala
Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

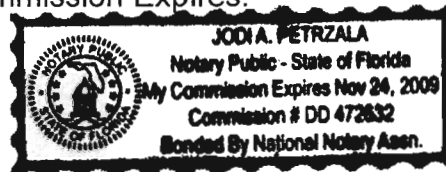
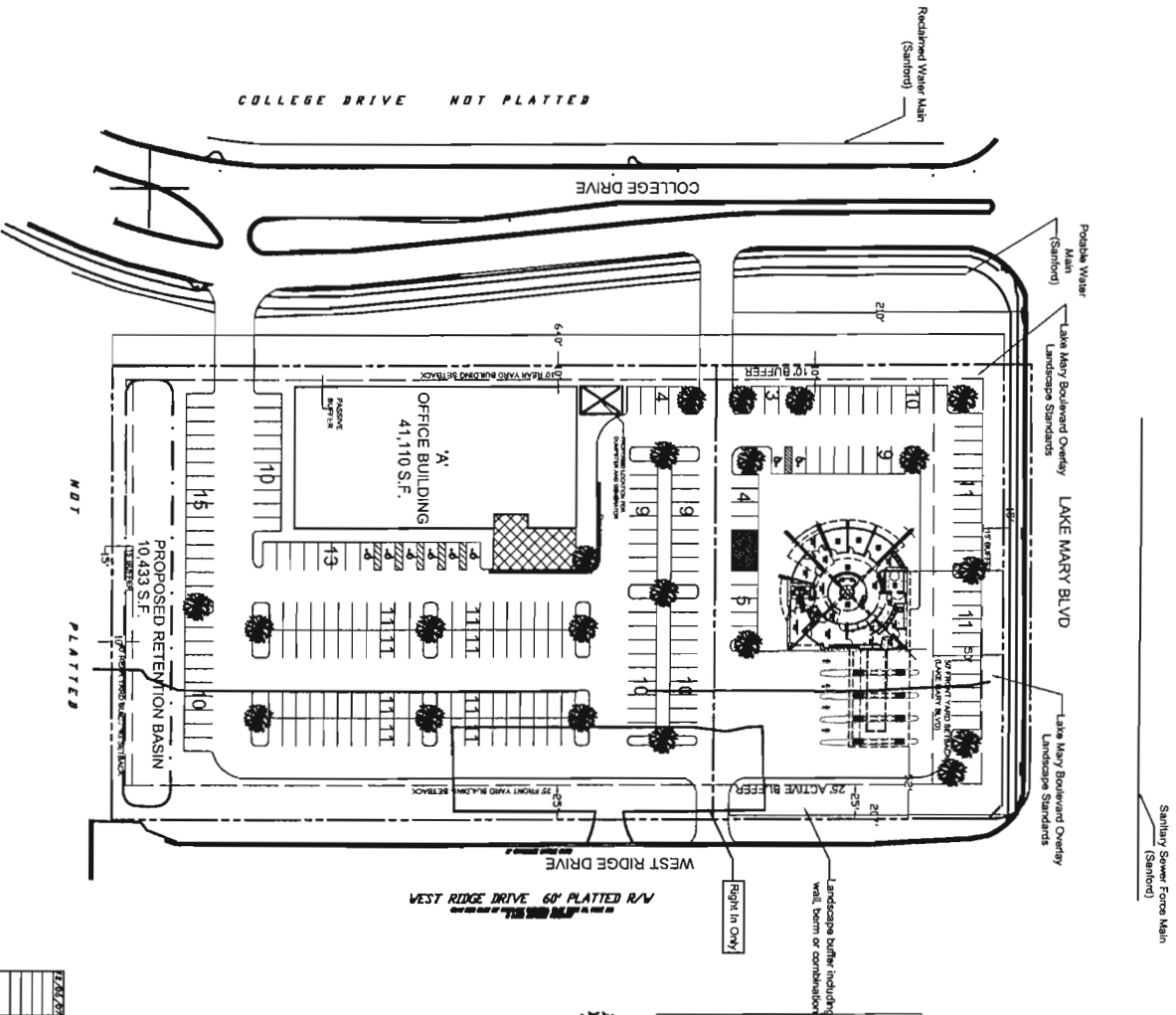


EXHIBIT A

Legal Description

The East 330 feet of the North 660 feet of Block C, Fairlane Estates, according to the plat thereof as recorded in Plat Book 10, Page 19, of the public records of Seminole County, Florida.

EXHIBIT B
Site Plan

[illegible]

NOT TO SCALE

INTERIOR PARKING LANDSCAPING CANOPY
TREES (CONCEPTUAL)

DATE	REVISIONS	BY	CHECKED
11/03/01	INITIAL PROJECT PLAN	ASB	NA/21

CONTACT INFORMATION	SEARCHED
APPLICANT	SENIOR COMMUNITY COLLEGE

BRENNING:
FOUNDER/CEO
100 WELDON BLVD
SAATCHI CO., FL 32773
PHONE: 407-708-2030
FAX: 407-708-2123
IVEY PUBLISHING GROUP, LLC
148 S. INTERNATIONAL PARKWAY

STE 2441
 LUCKENBACH, FL 32746
 PHONE: 407-660-0061
 FAX: 407-660-0006

PROJECT INFORMATION

PROJECT DESCRIPTION
THE PROJECT WILL CONSIST OF AN OFFICE BUILDING AND BANK WITH DRIVE-IN/THRU FAUCETES. SITE DATA
LOCATION: SOUTHEAST CORNER OF LAKE MARY BLVD.

PARCEL ID:	14-20-50-502-001-0000
4 COLLEGE DR NW, SUITE 600, FLOROA	
ACREAGE	
GROSS ACREAGE	4.64 ACRES
NET OFFICE BUILDING	1.28 ACRES
RAW	

1.58 ACRES	
BUILDING AREA	
'A' OFFICE BUILDING	41,110 S.F.
Bank	3,500 S.F.
TOTAL	

TOTAL		44,610 S.F.
<u>PARKING SUMMARY</u>		
REQUIRED	PROVIDED	
N. OFFICE BUILDING	164 SPACES	178 SPACES
1 SPACE PER 250 SF		

	14 SPACES 1 SPACE PER 250 SF	56 SPACES
BLANK	178 SPACES	234 SPACES
TOTAL	10' x 20' 34'	10' x 20' 34'

UTILITIES	CITY OF SAFFORD
SANITARIUM	
WATER	CITY OF SAFFORD

WATER:	CITY OF SANFORD
REGULATED WATER:	CITY OF SANFORD
STORMWATER:	
WILL MEET SEABOARD COUNTY AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT REQUIREMENTS THE SITE MAY LIMIT RESTROOM	

LANDSCAPE REQUIREMENTS WILL MEET THE REQUIREMENTS OF THE SEQUACHE COUNTY LAND DEVELOPMENT CODE SEC. 30.122A.

LANDSCAPING OF PARKING AREA WILL MEET OR EXCEED THE GENERAL LANDSCAPING REQUIREMENTS AS SPECIFIED IN SEC. 20.130 OF THE SPOKANE COUNTY LAND DEVELOPMENT CODE.

PER 30.1223 OF THE SPANGLER COUNTY LAND
DEVELOPMENT CODE, SOLID WASTE CONTAINER
WILL BE ENSURED ON AT LEAST (7) SPOTS WITH
SOLID WASTE

A (3) FOOT HIGH SCREEN, THE SCREEN WILL
CONSIST OF A WOOD FENCE OR A BRICK OR
MASONRY WALL.
FLOOD ZONE

DESIGNED PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN, AS DELINEATED BY THE FLOOD INSURANCE RATE MAP, SPANGLER COUNTY, FLORIDA. COMMUNITY PANEL NO. 1502789 0045 C. MAP EFFECTIVE DATE APRIL 17, 1995. THIS

DETERMINATION WAS MADE BY GRADING PLOTTING ONLY AND HAS NOT BEEN FIELD VERIFIED.

TREE PRESERVATION

REMOVAL/REPLACEMENT:

Exhibit 2
SCC FOUNDATION OFFICE
BUILDING
SANDHURST FIELDS

SAVANNO, FLORIDA
SEMINOLE COUNTY
TITLE GUARANTY PLAN
PROJECT PENDING REC
PLANNING SCALE: 1"=40'-0"

Page 1 of 2

District Commissioner Carey recommended approval.

Motion by Commissioner Van Der Weide, seconded by Commissioner McLean to approve the Voluntary Billboard Agreement, as shown on page _____, between Seminole County and Clear Channel Outdoor for property located west of I-4, approximately 1400 feet southeast of the intersection of Orange Boulevard and Dunbar Avenue, as described in the proof of publication, Clear Channel Outdoor.

Districts 1, 2, 3, 4 and 5 voted AYE.

**REQUEST TO REZONE FROM OP
TO OP, MATTHEW HODGE**

Proof of publication, as shown on page _____, calling for a public hearing to consider a request to rezone from OP (Office) to OP (Office) on approximately 4.84 acres, located on the southeast corner of the intersection of College Drive and Lake Mary Boulevard, Matthew Hodge, received and filed.

Planner, Austin Watkins, presented the request, advising the applicant is requesting the rezoning for the purpose of modifying the previously approved site plan to add two additional access points onto College Drive. The modification will also reduce the total office square footage from 48,966 square feet to 45,110 square feet. He further advised that the project is now associated with the Seminole Community College Foundation and the proposed site plan has three access points, which include two on College Drive and one on West Ridge Drive. Staff is recommending approval of the access point on West Ridge Drive, subject to the following: (1) The access onto West Ridge Drive shall be right-in, right-out only; and (2) Signage adjacent to or oriented towards West Ridge Drive shall be prohibited and must be oriented towards Lake Mary Boulevard or College Drive.

Mr. Watkins stated that the applicant is also requesting a waiver to the LDC to reduce the active buffer required along the west property line adjacent to West Ridge Drive from 50 feet to 25 feet. Staff recommends approval of the reduction, subject to the following: (1) The buffer must include, at a minimum, a 6-foot brick or block wall with a decorative finish, eight canopy trees and four sub-canopy trees per 100 linear feet; and (2) The required landscaping must be planted on the outside of the wall adjacent to West Ridge Drive as a visually amenity to the residents. He advised the P&Z Commission recommended approval of the request subject to no access to West Ridge Drive. He added that staff recommends approval subject to the Revised & Restated Development Order.

Matthew West, representing SCC, addressed the Board to state the main issue when the request was heard by the P&Z Commission was the access onto West Ridge Drive. He said the transportation policy of the Comp Plan dealing with this issue is not an outright prohibition, but it encourages the access to be on a collector or arterial road. He stated the problem is that the collector road (Lake Mary Boulevard) does not have enough separation to allow for another curb cut. He said there are other sites on Lake Mary Boulevard whose properties have access to either Fifth or Fourth Streets.

Steve Nevelip (phonetic), representing the applicant, addressed the Board to advise the submitted plan allows the college to build approximately 40,000 square feet of office. He said they have moved the entrance on West Ridge Drive to the north 75 feet and they believe that will reduce the impact to the neighborhood. He further said that the two homeowners who will be affected the most have submitted letters in support of this request.

Upon inquiry by Commissioner Henley, Mr. Nevelip advised there will be up to 160 people occupying the building.

Donald Tise, 124 Lake Minnie Drive, addressed the Board to speak in support of the development as approved by the P&Z Commission with no access onto West Ridge Drive. He stated that for 2/3 of the residents of Fairlane Estates, West Ridge Drive is only one of two west-bound exits out of the subdivision and there is already a tremendous problem with getting out of the subdivision.

County Engineer, Jerry McCollum, discussed the possibility of extending Lake Avenue (one-way) in order to get the residents over to College Drive, stating he would not recommend it, due to safety concerns.

Upon inquiry by District Commissioner Carey, Mr. McCollum stated if the access was limited to a right-in only, that would eliminate any cut-through traffic.

No one else spoke in support or in opposition.

Speaker Request Form was received and filed.

District Commissioner Carey recommended approval of the request, subject to a right-in only off of West Ridge Drive and no access out to the road. She stated she does not see the need anymore to have the requirement that the building have residential architecture.

Motion by Commissioner McLean, seconded by Commissioner Van Der Weide to adopt Ordinance #2008-15, as shown on page _____, approving rezoning from OP (Office) to OP (Office) on approximately 4.84 acres, located on the southeast corner of the intersection of College Drive and Lake Mary Boulevard, as described in the proof of publication, Matthew Hodge; and approve Revised and Restated Development Order, as shown on page _____, including a right-in

only access to West Ridge Drive (but no access out to the road) and the elimination of the language requiring residential architecture, based on staff findings.

Districts 1, 2, 3, 4 and 5 voted AYE.

CONSIDERATION OF ETHICS ORDINANCE

Proof of publication, as shown on page _____, calling for a public hearing to consider the Ethics Ordinance, received and filed.

County Attorney, Robert McMillan, presented the proposed ordinance, advising the ordinance includes ethical standards to govern the conduct of staff, appointees and commissioners.

Chairman Carey said she believes the Board of Adjustment and the Planning & Zoning Commission appointments should be included in the ordinance.

Commissioner Van Der Weide stated he would not have a problem including those groups.

Chairman Carey stated she also would like to have County employees included.

No one spoke in support or in opposition.

Motion by Commissioner Van Der Weide, seconded by Commissioner McLean to adopt Ordinance #2008-16, as shown on page _____, Ethics Ordinance, as described in the proof of publication, amended to include employees, Planning & Zoning Commission and Board of Adjustment appointees.

Districts 1, 2, 3, 4 and 5 voted AYE.

LEGISLATIVE UPDATE

Assistant County Manager, Sabrina O'Bryan, addressed the Board to give an update on the County's Legislative program, advising the Taxation & Budget Reform Commission has scheduled meetings for March

SEMINOLE COUNTY DENIAL DEVELOPMENT ORDER

On September 22, 2009, Seminole County issued this Denial Development Order relating to and touching and concerning the following described property:

See Attached Exhibit A

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

Property Owner(s): SCC Foundation Inc.
100 Weldon Blvd.
Sanford, FL 32773

Insight Financial Credit Union
480 S. Keller Rd.
Orlando, FL 32810

Project Name: SCC Foundation Site Plan

Requested Development Approval: Site Plan approval for 4.84± acres, located on the south east corner of the intersection of College Drive and Lake Mary Boulevard.

The Board of County Commissioners has determined that the request to approve the SCC Foundation Site Plan is not compatible with the surrounding area and could not be supported.

After fully considering staff analysis titled "SCC Foundation Site Plan" and all evidence submitted at the public hearing on September 22, 2009, regarding this matter the Board of County Commissioners have found, determined and concluded that the requested SCC Foundation Site Plan should be denied.

ORDER

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

The aforementioned application for development approval is **DENIED**.

Done and Ordered on the date first written above.

**SEMINOLE COUNTY BOARD OF COUNTY
COMMISSIONERS**

By: _____
Bob Dallari, Chairman

EXHIBIT "A"

LEGAL DESCRIPTION

E 330 FT OF N 660 FT OF BLK C (LESS N 20 FT FOR RD & S 432.97 FT) FAIRLANE ESTATES
PB 10 PG 19